

Bid Addendum No. 1
March 24, 2025

*Subject: Village of Antioch
Woods of Antioch Pavement Reconstruction
Section No.: 24-00048-00-PV
March 27, 2025 Letting*

To Prospective Bidders:

The contract documents for the above referenced project are hereby amended as set forth below. The information contained within this Addendum No. 1 shall be treated as if it was originally contained within the contract documents.

Modifications to the Special Provisions:

The special provision for PAVEMENT REMOVAL AND REPLACEMENT, SPECIAL has been modified to match the materials and thicknesses shown on the typical sections.

Replace page 4 SP provided in the original bid package with the enclosed page 4 SP.

Addition to the Special Provisions:

A special provision for PARKWAY RESTORATION has been added.

Add page 24 SP enclosed page to the special provisions.

Modifications to the Suggested Sequence of Construction plan:

The Suggested Sequence of Construction plan notes have been updated to provide the contractor additional time to complete the stage construction.

Replace the Suggested Sequence of Construction plan provided in the original bid package with the enclosed Suggested Sequence of Construction plan.

Modifications to the Curb or Curb and Gutter Removal and Replacement plan detail:

The Curb or Curb and Gutter Removal and Replacement plan detail has been updated to clarify required turf restoration behind the concrete curb and gutter removal and replacement.

Replace the Curb or Curb and Gutter Removal and Replacement plan detail provided in the original bid package with the enclosed Curb or Curb and Gutter Removal and Replacement plan detail.

Clarification to the Special Provisions:

It has come to our attention that Triaxial Geogrid Reinforcement may not be available from the supplier in a timely manner to complete the project by the specified completion date. At the contractor's option, Tensar H- Series HX5.5 geogrid will be considered an acceptable substitute.

No Proposal shall be considered responsive nor shall any Proposal be considered unless the appropriate space for acknowledgement of the addendum is completed. The signed copy of Addendum No. 1 shall be attached to the Proposal.

The undersigned agrees to be bound by the modifications made within this Addendum No. 1, and hereby waives any and all claims based upon the additional or modified information contained herein.

Acknowledgement of Addendum No. 1

Company Name: _____

Signature: _____

Name: _____

PAVEMENT REMOVAL AND REPLACEMENT, SPECIAL

Description.

This work shall consist of the complete removal of the existing concrete pavement and the underlying subbase/subgrade materials followed by pavement replacement consisting of aggregate base, hot-mix asphalt binder course, and hot-mix asphalt surface course. The pavement removal and replacement will occur over the full width of the roadway as shown in the project summary and typical sections.

Removal.

Removals shall be done in accordance with the applicable portions of Section 440 of the Standard Specifications. It is anticipated that the entire six-inch (6") depth of concrete pavement will be removed, and a depth of seven inches (7") of the existing subbase/subgrade materials. The Contractor shall saw cut the pavement full depth at the edge of the gutter flag prior to the pavement removal. Any damage done to the existing curb and gutter to remain shall be repaired and restored at the Contractor's expense. The intent is to keep the existing concrete curb and gutter intact so the Contractor shall take extra care during pavement removal operations.

It is the intent to remove the entire concrete pavement and subbase/subgrade as required, to provide a proper surface for resurfacing without raising the present crown of the road. No additional compensation will be granted for removal of the concrete pavement for variance in thickness or excavation and disposal of excess material. The method of performing this work shall be reviewed with and acceptable to the Engineer.

Preparation of Base.

This work will be done in accordance with Section 358 of the Standard Specifications. All areas in the roadway that are generally loose aggregate shall be shaped, water added if necessary, and compacted to the satisfaction of the Engineer. It will be necessary to grade and shape the existing subgrade to establish the proposed base course elevation. After the subgrade has been brought to a smooth grade and proper shape, it shall be compacted by use of vibratory rollers and/or compactors.

The Engineer will complete a string-line review of the subgrade upon twenty-four (24) hours' notice from the Contractor. The Contractor will not be permitted to cover the layer being reviewed until written notice has been received from the Engineer. Segments of the street reconstruction may be sequenced appropriately to permit continuous construction operations. In the event the excavation has exceeded the required depths, the Contractor will be required to add additional aggregate material (crushed gravel or crushed stone) to the existing subgrade to achieve proper grade.

Following acceptable string-line review, proof-rolling with a 45,000-pound, rubber-tired vehicle in the presence of the Engineer shall be required to demonstrate that the subgrade is firm and in proper condition for resurfacing. A weight ticket will be required.

Base or subgrade repairs needed at this time shall be marked and measured for payment by the Engineer and shall be paid for at the contract unit price per square yard for AGGREGATE BASE COURSE REMOVAL AND REPLACEMENT, 12 INCH.

Aggregate Base Course.

This work shall be done in accordance with the applicable articles of Section 351 and Article 1004.06 of the Standard Specifications. This item shall consist of the installation of Aggregate Base Course, gradation CA-1, to a compacted thickness of six-inches (6"), and a capping lift of three-inches (3") of Aggregate Base Course meeting the gradation of CA-6 either crushed gravel or crushed stone. The total minimum compacted thickness shall be nine-inches (9"). After the subgrade has been brought to a smooth grade and proper shape, it shall be compacted by use of vibratory rollers and/or compactors.

PAKWAY RESTORATION

Description.

This work shall be done in accordance with the applicable articles of Section 211, Section 250, and Section 251 of the Standard Specifications. This work shall be performed to re-shape the existing parkway adjacent to sidewalk replacement and provide positive drainage at locations shown on the plans and marked by the Engineer.

Grading and Shaping.

This work shall be done in accordance with applicable portions of Section 211 of the Standard Specifications and consist of re-grading parkways adjacent to sidewalk replacement for provide proper slope and positive drainage. This work shall require grading to meet the lines and grades of the Engineer at the time of construction. The grading and shaping shall be done to the satisfaction of the Engineer and the disturbed areas shall be prepared for restoration.

Restoration.

This work shall consist of furnishing, placing and shaping an average depth of four inches (4") of pulverized topsoil, Seeding Class 1A (hydraulic mulch application), watering and fertilizer nutrients at the rate of 270 pounds per acre, from the edge of pavement to taper into the existing parkway/ditch area as shown on the plans and in the project summary.

In some areas the thickness of topsoil may be less than 4 inches (4") to taper and match into the existing parkway/ditch area.

The topsoil shall arrive on-site 100% pulverized with no stones. Stones that become apparent after topsoil placement will be required to be removed prior to payment for the topsoil pay item.

All seeded areas shall have an adequate growth of grass before work is accepted. Adequate growth will be defined as root depth into topsoil a minimum of two inches (2") and dense, green, consistent turf void of any bare or patchy areas of more than nine (9) square inches. Maintenance (restoration of rutting, re-seeding, etc.) shall be included in this pay item.

Method of Measurement.

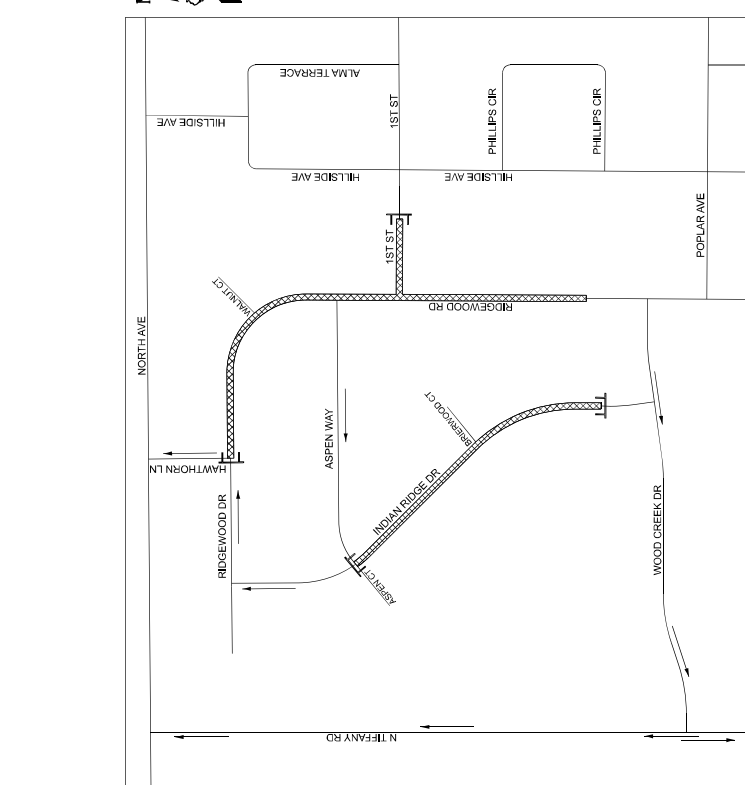
PARKWAY RESTORATION will be measured in place and the area computed in SQUARE YARDS.

Basis of Payment.

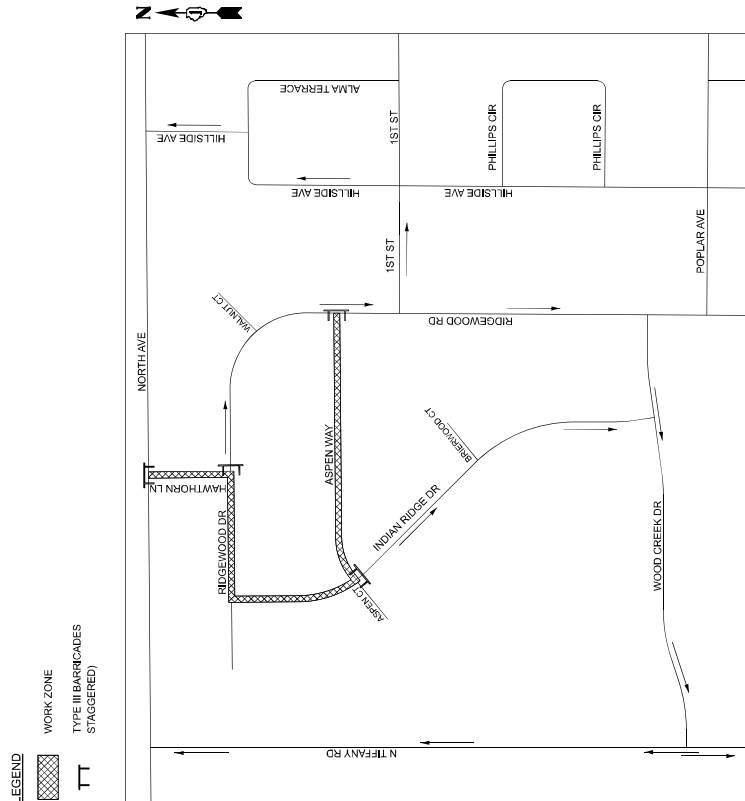
This work will be paid for at the contract unit price per SQUARE YARD for PARKWAY RESTORATION, which price shall include all labor, material and equipment necessary to complete the work as specified above, including topsoil and seed restoration.

The Contractor will be paid at the rate of 50% for PARKWAY RESTORATION at the time of hydraulic mulch and seed application. The remaining 50% of payment shall be approved for payment upon the turf displaying adequate growth as defined above.

PARKWAY RESTORATION required at concrete curb and gutter replacement locations will not be measured and paid separately, but included in the contract unit price per FOOT for COMBINATION CONCRETE CURB AND GUTTER REMOVAL AND REPLACEMENT.



STAGE TWO



STAGE ONE

NOTES:

THE SEQUENCE OF CONSTRUCTION HAS BEEN DEVELOPED TO PROVIDE THE RESIDENTS REASONABLE ACCESS IN AND OUT OF THE SUBDIVISION AS NEEDED.

THE SEQUENCE OF CONSTRUCTION SHALL PERTAIN TO PAVEMENT REMOVAL, EXCAVATION AND AGGREGATE BASE COURSE INSTALLATION. THE CONTRACTOR WILL BE PERMITTED TO UTILIZE THE ENTIRE SUBMITTAL FOR CURB REPLACEMENT, SIDEWALK REPAIRMENT, PIPE UNDERPINNING INSTALLATION, AND HOT-MAST ASPHALT PAVING OPERATIONS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED TO THE CONTRACTOR TO RE-FINE GRADE. THE AGGREGATE BASE COURSE SHALL BE PERMITTED TO HMA BINDER COURSE INSTALLATION.

THE CONTRACTOR SHALL BE REQUIRED TO COMPLETE PAVEMENT REMOVAL, EXCAVATION, AND AGGREGATE BASE COURSE INSTALLATION ON EACH RESPECTIVE STAGE TO HAVE THE STREET REOPENED TO TRAFFIC WITHIN 7 DAYS OF COMPLETION OF EACH STAGE. FAILURE TO DO SO SHALL RESULT IN A FINE OF \$2,000 PER EACH CALENDAR DAY OF OVERFLOW.

(C) THE CONTRACTOR MAY MODIFY THE SEQUENCE OF CONSTRUCTION TO MEET CONSTRUCTION NEEDS, BUT NOT AT THE EXPENSE OF PUBLIC SAFETY OR CONVENIENCE.

A MINIMUM OF ONE THROUGH LANE SHALL BE MAINTAINED BY THE CONTRACTOR AT ALL TIMES WITHIN THE WORK ZONE TO PROVIDE EMERGENCY ACCESS DURING CONSTRUCTION.

RESIDENTS WITHIN A WORK ZONE WILL BE ADVISED TO PARK VEHICLES OUTSIDE OF THE WORK ZONE DURING THE APPLICABLE STAGE OF CONSTRUCTION.

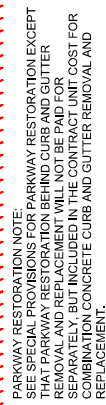
ANY CHANGES TO THE STAGING PLAN SHALL BE SUBMITTED BY THE CONTRACTOR TO THE RESIDENT ENGINEER AND VILLAGE 72 HOURS IN ADVANCE OF ANY CHANGE TO THE STAGING PLANS.

UPON INSTALLATION OF THE CA-1 AGGREGATE BASE COURSE, TEMPORARY RAMPS WILL BE REQUIRED AT EACH DRIVEWAY ENTRANCE AND EXITING ROADWAY. SEE MAINTENANCE OF TRAFFIC TYPICAL SECTION.

ONCE TEMPORARY RAMPS HAVE BEEN INSTALLED, RESIDENTS WILL BE ALLOWED TO RESUME USE OF THEIR DRIVEWAYS DURING CONSTRUCTION.

THE CONTRACTOR WILL BE REQUIRED TO COMMENCE CONSTRUCTION OF HMA BINDER COURSE WITHIN 7 CALENDAR DAYS UPON COMPLETION OF THE AGGREGATE BASE COURSE IN EACH STAGE. FAILURE TO DO SO SHALL RESULT IN A CHARGE OF \$1,000 PER EACH CALENDAR DAY OF OVERRUN.

[illegible]



ALL DIMENSIONS ARE IN INCHES (MILLIMETERS)
UNLESS OTHERWISE SHOWN.

 H2B H2B GROUP, INC. 10000 W. 10th Ave., Suite 100 Denver, CO 80202 (303) 750-1000 www.h2bgroup.com		USER NAME = jrgmiller@h2b.com DESIGNED - A. HOUSEH DRAWN - CHECKED - PLOT SCALE = 0.000000 / in. PLOT DATE = 3/22/25		REVISED - A. REBAS 02-27-27 REVISED - M. GOMEZ 01-22-201 REVISED - R. BORD 12-15-09 REVISED - K. SMITH 07-11-09		VILLAGE OF ANTIOCH		CURB OR CURB AND GUTTER REMOVAL AND REPLACEMENT		R/E. SECTION COUNTY TOTAL SHEET N/A 240044-004PV LAKE 22 16 BDR004R (BQ-24) CONTRACT NO. (LUNING) FEED. AD PRODUCT SCALE: NONE SHEET 1 OF 1 SHEETS STA. TO STA.	
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